

EAST BOSTON CAMPS

Building Evaluation

November 2, 2007

Prepared by: John Livsey, Town Engineer
Matt Hakala, Building Commissioner
James Esterbrook, Engineering Inspector / GIS Technician



TOWN OF WESTFORD

ENGINEERING DEPARTMENT

JOHN R. LIVSEY, P.E.
Town Engineer

PAUL M. STARRATT, P.E.
Assistant Town Engineer

To: Norman Khumalo, Assistant Town Manager

From: John R. Livsey, P.E.

Re: East Boston Camps (EBC) Building evaluation.

Date: November 1, 2007

The Engineering Department and Building Department have been asked to perform a visual exterior inspection of the existing buildings with the exception of the former 'Girls Camp' numbered as Buildings 1 through 7. On October 4, 2007 and October 18, 2007 John Livsey (Town Engineer), Matthew Hakala (Building Commissioner), and James Esterbrook (Engineering Inspector / GIS Technician) visited EBC to evaluate the structures.

As stated previously the inspections were of the exterior of the buildings and visual in nature. Measurements and photographs were taken of deficiencies that were discovered during the inspections. The deficiencies, measurements, and photographs as well as individual building reports are attached to these documents. Additionally cost estimates were assigned to the items identified in the report to assist with future planning for the project.

We organized and prioritized the information gathered into the following categories:

Needs immediate action: These are repairs that if not completed may result in a dangerous situation or creates an obstacle to camp operations.

Priority: These are considered items that do not immediately jeopardize health or reasonable operation of the camp; however, timely repairs would be necessary to prevent significant deterioration of facility damage.

Recommended: These are considered items that need to be rectified/done but delay of a few (1-3) years will unlikely result in significant deterioration within the mentioned time period.

Suggested: These are considered items that should be part of a long-term (4-10 year) maintenance plan to protect the buildings.

Please note that these categories as well the prioritizing were determined in the best professional judgment of the Engineering Department and Building Commissioner. However, due to the subjectivity of some of the items and the unknown future use of the buildings there may be the occasion when the items are recategorized.

Engineering Department
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In our inspections there were a few items of note that were common to many of the evaluated structures. Examples of these items are as follows;

1. Damaged asphalt roof shingles and rotted roof wood are prominent at buildings that had chimneys that intersected the roof line. This was seen at many of the cottages and categorized as 'priority'. This is represented in numerous photos and repair suggestions have been made.
2. Chimneys. Many of the cottages had chimneys that do not appear to be in use but do still exist. A large portion of these chimneys intersect the roofline and have created the aforementioned deterioration problem. An additional concern is that there are several chimneys that have two lengths of clay pipe extending from the top of the brick. These clay pipes can break and fall without warning, thereby creating a dangerous situation. For this reason we suggest that all clay pipes be removed and this action has been categorized as 'Needs Immediate Action'. We would categorize the removal of all chimneys protruding through the roofs as 'priority' as the aforementioned repairs cannot be properly completed without this removal. Finally, there is the case where the chimneys have been taken down to below the roofline but not completely eliminated. We have categorized the removal of these as suggested. Although not necessary it would be prudent to remove these prior to replacing siding and painting. Please note that the assumption on these chimneys is that they are not in use and there is no plan for their future use.
3. Peeling and faded paint. This was the most widespread issue found during the inspections as almost every building was in need of power washing, scraping, and painting. This was categorized as 'recommended'. The buildings noted are in need of painting now. However, a short delay is unlikely to result in significant deterioration. It should be noted that the cost estimates are based on the existing paint not being lead-based. After consulting with the Town Manager, a lead paint professional has been contacted to determine if this is lead paint. If the paint is lead-based this could result in a significant increase in the cost. This deficiency is represented in numerous photos within the report.
4. Siding damage. Many of the cottages had siding damage caused by rot and was located along the bottom courses. In some cases the damage was the result of woodpeckers, insects, and vandalism. Although not all siding damage is in need of a repair most of it has been categorized as 'priority'. The siding repairs should be done prior to any painting as this is the logical repair sequence. It should also be noted that much of the damage/rot is the result of the earth/soil build-up onto the wood. We recommend that all soil in contact with wooden structures be removed. Further, we suggest that a stone apron is placed around the wooden structures after removing the soil to the appropriate depth to limit splash back to the building and the resulting deterioration. This is represented in numerous photos within the report.
5. Drip edge and gutter damage. Much of the drip edge for the buildings was severely damaged, removed or missing. At this time we do not suggest repair, however, any buildings that receive a new roof in the future should also get a drip edge at the same time. Gutters are damaged to the point of not being functional on most of the buildings. In most cases the gutters are placed over the doors of buildings to minimize dripping on

those accessing the buildings. These could be replaced but it is more of an inconvenience than a deterioration issue and has not been categorized or priced out for this reason.

6. On many reports you will notice an NV for doors and windows. In many cases the doors and windows were not visible (NV) as they were boarded up due to the off-season. In these cases no inspection was performed and the condition is unknown.
7. It was observed that several buildings had screen damage and window pane damage. It is our understanding that repairs to these are part of the current on-going maintenance and therefore have not been itemized in the report.
8. There are numerous propane tanks placed on a thin concrete pad. I would suggest review of this installation to determine if there are any safety concerns or code violations with this type of installation. This has not been categorized or estimated as we are unclear on the need to make improvements to the current situation.

Additionally cost estimates were generated on the itemized deficiencies. It is important to note that these are estimates only. The attempt has been to provide an order of magnitude estimate for the repairs that have been suggested. Costs were developed using information from previous reports, assistance from local developers, recent local bids for construction, and staff knowledge of pricing. Adjustments have also been made in an attempt to encompass prevailing wage rates. Items have been estimated in different ways depending on the type of work, amount of materials, anticipated labor, etc... For example costs for re-roofing a building were based on a cost per square foot of roof price. Whereas the replacement of 25 feet of siding on a cottage would not make sense to price as a cost per linear foot because it is more labor intensive than material cost. Therefore, an item like this would be priced based on the materials and the expected hours of labor. There is clearly a savings if all of a particular repair type is done at all the cottages at once and an increased cost if it is done one or a few at a time. The pricing provided would be most representative of doing improvements in larger quantities, but not necessarily as a whole.

Thank You,

John R. Livsey, P.E.
Town Engineer

Cc: Matt Hakala, Building Commissioner
James Esterbrook, Engineering Inspector / GIS Technician

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Engineering Department
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EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 8
Description Lodge / Recreational Hall
Camp Girls
Date 10/4/2007

G-Good

F-Fair

P-Poor

NV-Not Visible

NA-Not Applicable

M-Missing

Paintable Square Footage =
1884

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions							
Roof	P	Leaking, Replace entire roof					
Visible Rot (Y/N)	N	Total Linear Feet		Location			
Siding Damage (Y/N)	Y	Total Linear Feet	128				
Needs Painting (Y/N)	Y						
Threshold	G	Rear Threshold is too small, needs to be replaced to prevent further problems					
Footings	NV						
Steps	G						
Railings	G	Total Linear Feet					
Doors	NV	Boarded up					
Shutters (Y/N)	N						
Chimney (Y/N)	F	Moss Buildup, No Obvious Damage, Animal Cage Exists on top of stack, stone chimney					
Windows	NV	Boarded up					
Handicap Accessible (Y/N)	N	Should be H/C accessible					
Deck (Y/N)	N	Condition					
Gutters (Y/N)	Y	Condition	Good	Location	Front	Rear Middle - Needs Replacement	
Additional Comments		Sketch 					
Roof Leaks, Needs Drip Edge							

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 9
Description Bath House
Camp Girls
Date 10/4/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 592

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	G/F							
Visible Rot (Y/N)	N	Total Linear Feet		Location				
Siding Damage (Y/N)	N	Total Linear Feet		Location				
Needs Painting (Y/N)	Y							
Threshold	G	Concrete						
Footings	G	Poured concrete, some areas need to be sealed to prevent animal encroachment						
Steps	G	Concrete - One Level / Rear steps missing - should be replaced						
Railings	NA	Total Linear Feet						
Doors	F	Rear door has some damage at old door handle						
Shutters (Y/N)	N							
Chimney (Y/N)	N	2 Stacks						
Windows	G							
Handicap Accessible (Y/N)	N	should be accessible						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition	Fair	Location				
Additional Comments	<div style="display: flex; justify-content: space-between;"> <div style="width: 30%; background-color: yellow; padding: 5px;"> Propane tank should be secured on a poured concrete slab </div> <div style="width: 65%;"> <p>Sketch</p> </div> </div>							

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 10
Description Cottage
Camp Girls
Date 10/4/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 684

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	F	Needs work in rear at chimney stack on both sides						
Visible Rot (Y/N)	Y	Total Linear Feet	20	Location	Right			
Siding Damage (Y/N)	Y	Total Linear Feet	31'	Location	Left-13'	Right-15'	Front-3'	
Needs Painting (Y/N)	Y							
Threshold	G							
Footings	NV							
Steps	G	2 Steps						
Railings	Missing	Total Linear Feet		Not needed				
Doors	F	Does not close well, Could be rehung						
Shutters (Y/N)	Y	Good Condition						
Chimney (Y/N)	Y	Good Condition / Clay Vent Pipe (Could be removed for safety)						
Windows	F							
Handicap Accessible (Y/N)	N							
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition	Poor	Location	Front			
Additional Comments		Sketch 						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 11
Description Venus (Cottage)
Camp Girls
Date 10/4/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 684

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions							
Roof	F	Flashing damage / Rot surrounding chimney					
Visible Rot (Y/N)	Y	Total Linear Feet	2.5*4 / 2.5*4	Location	Left at chimney		
Siding Damage (Y/N)	Y	Total Linear Feet	32'	Location	Left 12'	Front 20'	
Needs Painting (Y/N)	Y						
Threshold	G						
Footings	NV						
Steps	G						
Railings	G	Total Linear Feet					
Doors	F						
Shutters (Y/N)	Y	Work fine					
Chimney (Y/N)	N						
Windows	F						
Handicap Accessible (Y/N)	N						
Deck (Y/N)	N	Condition					
Gutter (Y/N)	Y	Condition	Fair - sagging	Location			
Additional Comments		Sketch					
Rot on siding in the front of the building could be deeper than visible on initial inspection							

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 12
Description Bath House
Camp Girls
Date 10/4/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 544

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

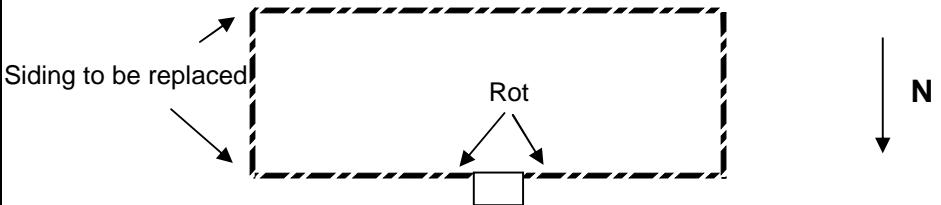
Conditions								
Roof	F							
Visible Rot (Y/N)	N	Total Linear Feet		Location				
Siding Damage (Y/N)	N	Total Linear Feet		Location				
Needs Painting (Y/N)	Y							
Threshold	G	Concrete						
Footings	G							
Steps	F	Concrete in front OK - fill needed / Rear steps in poor condition - should be replaced						
Railings	N	Total Linear Feet						
Doors	NV	Boarded up						
Shutters (Y/N)	N							
Chimney (Y/N)	Y - vents OK							
Windows	G							
Handicap Accessible (Y/N)	N	Should be made accessible						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition	Poor	Location	Front	Rear		
Additional Comments	<div style="display: flex; justify-content: space-between;"> <div style="width: 30%; background-color: yellow; padding: 5px;"> Propane tank should be secured on a concrete pad </div> <div style="width: 65%;"> Sketch <div style="text-align: center; margin-top: 20px;"> </div> </div> </div>							

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 13
Description Athena Cottage
Camp Girls
Date 10/4/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 684

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

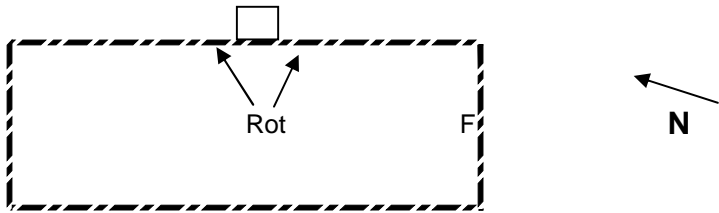
Conditions								
Roof	F	Damage surrounding chimney						
Visible Rot (Y/N)	Y	Total Linear Feet	2.5*4 / 2.5*4	Location	Left			
Siding Damage (Y/N)	Y	Total Linear Feet	5.5'	Location	Front 3'	Right 2.5'		
Needs Painting (Y/N)	Y							
Threshold	G							
Footings	NV							
Steps	G							
Railings	M	Total Linear Feet	3'	Missing				
Doors	F	Sticks						
Shutters (Y/N)	Y	Functional						
Chimney (Y/N)	Y	Cracking and Damage - Needs to be removed and sealed						
Windows	F							
Handicap Accessible (Y/N)	N							
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition	Poor	Location	Front			
Additional Comments		Sketch 						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 14
Description Diana (Cottage)
Camp Girls
Date 10/4/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 684

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions							
Roof	F	Damage and rot surrounding chimney					
Visible Rot (Y/N)	Y	Total Linear Feet	2.5*4 / 7.5*4	Location	Surrounding chimney		
Siding Damage (Y/N)	Y	Total Linear Feet	7'	Location	Left		
Needs Painting (Y/N)	Y						
Threshold	P	Needs immediate replacement, very rotted out.					
Footings	NV						
Steps	Y	Needs fill to surround base or additional step needs to be added					
Railings	P	Total Linear Feet	5	Needs removal or replacement			
Doors	F						
Shutters (Y/N)	Y	Rear of building has a single shutter missing					
Chimney (Y/N)	Y	Clay pipe stack should be removed					
Windows	F	Right side has rot that should be replaced on window sill near fireplace					
Handicap Accessible (Y/N)	N						
Deck (Y/N)	N	Condition					
Gutter (Y/N)	Y	Condition	Poor	Location	Front		
Additional Comments		Sketch 					

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 15
Description Directors Cabin
Camp Girls
Date 10/4/2007

G-Good

F-Fair

P-Poor

NV-Not Visible

NA-Not Applicable

M-Missing

Paintable Square Footage =
1190

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	G							
Visible Rot (Y/N)	Y	Total Linear Feet	3'	Location	Roof Top			
Siding Damage (Y/N)	Y	Total Linear Feet		Location				
Needs Painting (Y/N)	Y	Touch up in areas / Especially west side						
Threshold	G							
Footings	P	Concerns with buckling, siding would have to be removed for further inspection to determine severity						
Steps	G							
Railings	N	Total Linear Feet						
Doors	NV	Side door needs steps						
Shutters (Y/N)	Y	Good shape / one down shutter one west side should be put back up						
Chimney (Y/N)	Y	Some pointing needed						
Windows	NV	Above entrance way a screen is needed						
Handicap Accessible (Y/N)	N							
Deck (Y/N)	Y	Condition	Good	Questionable footing construction with pavers				
Gutter (Y/N)	N	Condition		Location				
Additional Comments		Sketch <div style="display: flex; align-items: center;"> <div style="flex: 1; background-color: yellow; padding: 5px;"> Miscellaneous siding damage throughout cabin requires replacement / siding rot at house connection with chimney and at trim to roof connection </div> <div style="flex: 2;"> <p>The sketch shows a rectangular building footprint. A dashed line indicates the main structure. An arrow points to the top-left corner with the label 'Buckling Concerns'. Another arrow points to the bottom-left corner with the label 'Missing Shutter'. To the right of the main structure is a smaller rectangle labeled 'Deck'. A north arrow points upwards and is labeled 'N'.</p> </div> </div>						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 16
Description Candy Shop
Camp Girls
Date 10/4/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 448

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions									
Roof	F	Rolled Shingles							
Visible Rot (Y/N)	N	Total Linear Feet		Location					
Siding Damage (Y/N)	Y	Total Linear Feet	24'	Location	Right 16'	Rear 8'			
Needs Painting (Y/N)	Y								
Threshold	G	Concrete							
Footings	F	Concrete - Needs fill or shoring							
Steps	G	Concrete - could use some soil							
Railings	N	Total Linear Feet							
Doors	NV								
Shutters (Y/N)	N								
Chimney (Y/N)	N								
Windows	F	Trim is rotting	4'						
Handicap Accessible (Y/N)	N								
Deck (Y/N)	N	Condition							
Gutter (Y/N)	N	Condition		Location					
Additional Comments		Sketch							
Woodpecker damage at several location on building									

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 17
Description Boathouse
Camp Boys
Date 10/18/2007

G-Good

F-Fair

P-Poor

NV-Not Visible

NA-Not Applicable

M-Missing

Paintable Square Footage =
1234

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions									
Roof	P	Many leaks							
Visible Rot (Y/N)	N	Total Linear Feet		Location					
Siding Damage (Y/N)	Y	Total Linear Feet	10'	Location	Right				
Needs Painting (Y/N)	Y								
Threshold	F								
Footings	F	A few of the footing have questionable construction and there is erosion at the SW corner							
Steps	NA								
Railings	NA	Total Linear Feet							
Doors	F	some wear but functions							
Shutters (Y/N)	Y	fair condition							
Chimney (Y/N)	N								
Windows	NV								
Handicap Accessible (Y/N)	N								
Deck (Y/N)	Y	Condition	Good	Small					
Gutter (Y/N)	N	Condition		Location					
Additional Comments		Sketch <div style="text-align: center;"> </div>							

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 18
Description Cafeteria / Kitchen
Camp Boys
Date 10/18/2007

G-Good

F-Fair

P-Poor

NV-Not Visible

NA-Not Applicable

M-Missing

Paintable Square Footage =
2790

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector


Conditions								
Roof	F	Recently repaired, small sag						
Visible Rot (Y/N)	Y	Total Linear Feet		Location				
Siding Damage (Y/N)	Y	Total Linear Feet	118'	Location	Front	Rear	Left	
Needs Painting (Y/N)	Y							
Threshold	P	Should be replaced						
Footings	G	Visible footings are fine, may need to add one at damaged beam area, some erosion as shown in sketch						
Steps	F	Several, steps on west side should be replaced so that they have a landing						
Railings	Y	Total Linear Feet	40'	(in rear should be replaced)				
Doors	F	Rear doors (2) should be replaced						
Shutters (Y/N)	N							
Chimney (Y/N)	Y	Fair condition						
Windows	F							
Handicap Accessible (Y/N)	N	Should be made HC accessible						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition	Poor	Location	Front 3'			
Additional Comments		<div>Sketch</div> <div><div>Footings w/Cinder block and wood block</div><div>Footings needs hangar</div><div>No landing on steps</div><div>Footing Erosion</div><div>↓ N</div></div> <div><div>Main support beam needs to be addressed. Rot should be replaced. No platform at rear steps.</div><div>siding damage</div><div>Main support damage</div></div>						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 19
Description Storage
Camp Boys
Date 10/18/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 560

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	F	Some damage from gutter installation, minor						
Visible Rot (Y/N)	N	Total Linear Feet		Location				
Siding Damage (Y/N)	N	Total Linear Feet		Location				
Needs Painting (Y/N)	Y							
Threshold	G	Concrete						
Footings	NV							
Steps	NA							
Railings	NA	Total Linear Feet						
Doors	G							
Shutters (Y/N)	Y	Good						
Chimney (Y/N)	N							
Windows	G							
Handicap Accessible (Y/N)	N	Does not require HC accesibility						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition		Location				
Additional Comments		Sketch <div style="text-align: center; margin-top: 20px;">  </div>						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 20 (28 marked on building) Not shown on original plan
Description Bath House
Camp Boys
Date 10/18/2007

G-Good

F-Fair

P-Poor

NV-Not Visible

NA-Not Applicable

M-Missing

Paintable Square Footage = 792

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	F							
Visible Rot (Y/N)	Y	Total Linear Feet		Location	Right 6'			
Siding Damage (Y/N)	Y	Total Linear Feet	57'	Location	Front 27'	Right 30'		
Needs Painting (Y/N)	Y							
Threshold	G	concrete						
Footings	F	poured concrete						
Steps	F	Rear steps tilted and should be replaced / front step shows some erosion						
Railings	NA	Total Linear Feet						
Doors	F							
Shutters (Y/N)	N							
Chimney (Y/N)	N							
Windows	F							
Handicap Accessible (Y/N)	N	Should be made HC accessible						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition	Poor	Location	Rear			
Additional Comments	<div style="display: flex;"> <div style="flex: 1; background-color: yellow; padding: 5px;"> <p>Water Heater closet in rear should be removed and replaced due to damage on the sill, roof, trim, etc. Overhang located on the east side of the building should be removed.</p> </div> <div style="flex: 2; padding: 5px;"> <p>Sketch</p> </div> </div>							

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 21
Description Nurses Cabin
Camp Boys
Date 10/18/2007

G-Good

F-Fair

P-Poor

NV-Not Visible

NA-Not Applicable

M-Missing

Paintable Square Footage =
1134

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	Fair	Leak was recently repaired - could use replacement						
Visible Rot (Y/N)	Y	Total Linear Feet	10'	Location	R			
Siding Damage (Y/N)	N	Total Linear Feet		Location				
Needs Painting (Y/N)	Y							
Threshold	F	Replace Left Door threshold						
Footings	NV	Except for deck footings						
Steps	F							
Railings	Y	Total Linear Feet	40'					
Doors	NV							
Shutters (Y/N)	N							
Chimney (Y/N)	Y	Not functional, should be removed						
Windows	NV							
Handicap Accessible (Y/N)	N	Should be HC accessible						
Deck (Y/N)	Y	Condition	Poor	needs to be shored / possibly replaced				
Gutter (Y/N)	N	Condition		Location				
Additional Comments		<div style="display: flex; align-items: flex-start;"> <div style="flex: 1; background-color: yellow; padding: 5px; margin-right: 10px;"> Deck has questionable footings, needs new decking and has some structural damage </div> <div style="flex: 2;"> Sketch <div style="text-align: center; margin-top: 20px;"> </div> </div> </div>						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 22
Description Director Cabin
Camp Boys
Date 10/18/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 939

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector


Conditions								
Roof	P	Replacement needed, shingles are falling off						
Visible Rot (Y/N)	Y	Total Linear Feet	35'	Location	Front 10'	Rear 25'		
Siding Damage (Y/N)	Y	Total Linear Feet	24'	Location	Rear 24'			
Needs Painting (Y/N)	Y							
Threshold	NV							
Footings	NV							
Steps	F							
Railings	Y	Total Linear Feet	24					
Doors	NV							
Shutters (Y/N)	N							
Chimney (Y/N)	Y	May no longer be functional						
Windows	NV							
Handicap Accessible (Y/N)	N							
Deck (Y/N)	Y	Condition						
Gutter (Y/N)	N	Condition		Location				
Additional Comments Propane tanks should be secured with better footings to prevent toppling over		Sketch 						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 23 (numbered as 22)
Description Cottage
Camp Boys
Date 10/18/2007

G-Good
F-Fair
P-Poor Paintable Square Footage = 720
NV-Not Visible
NA-Not Applicable
M-Missing

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	G	Looks new						
Visible Rot (Y/N)	N	Total Linear Feet		Location				
Siding Damage (Y/N)	N	Total Linear Feet		Location				
Needs Painting (Y/N)	Y							
Threshold	F							
Footings	NV							
Steps	G							
Railings	Y	Total Linear Feet	4'	Good				
Doors	F							
Shutters (Y/N)	Y	Good condition						
Chimney (Y/N)	Y	Abandoned, should remove - is now located below roofline						
Windows	F							
Handicap Accessible (Y/N)	N	OK						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition		Location				
Additional Comments Roof repairs shown in photo at chimney are typical of repairs needed on numerous cottages		Sketch <div style="text-align: center;">  </div>						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 24 (Numbered as 23)
Description Dawn Doe Cottage
Camp Boys
Date 10/18/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 720

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

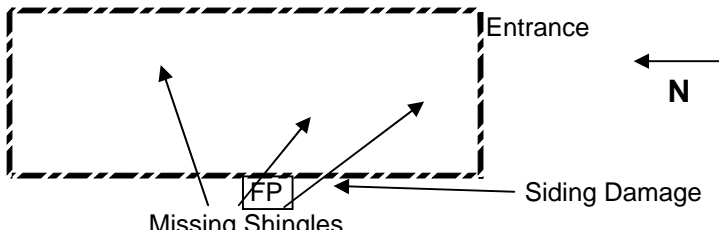
Conditions								
Roof	G							
Visible Rot (Y/N)	N	Total Linear Feet	20	Location	Chimney			
Siding Damage (Y/N)	Y	Total Linear Feet	24'	Location	Right 24'			
Needs Painting (Y/N)	Y							
Threshold	P	Needs replacing						
Footings	NV							
Steps	F	Erosion surrounding pad						
Railings	M	Total Linear Feet						
Doors	F							
Shutters (Y/N)	Y							
Chimney (Y/N)	Y	Abandoned						
Windows	F							
Handicap Accessible (Y/N)	N	OK						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition		Location				
Additional Comments	Sketch 							

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 25
Description Little Bow Cottage
Camp Boys
Date 10/18/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 720

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	F	Missing shingles, suggest roof replacement						
Visible Rot (Y/N)	N	Total Linear Feet		Location				
Siding Damage (Y/N)	Y	Total Linear Feet	11'	Location				
Needs Painting (Y/N)	Y							
Threshold	F							
Footings	NV							
Steps	F							
Railings	F	Total Linear Feet	3'					
Doors	F							
Shutters (Y/N)	Y	Good						
Chimney (Y/N)	Y	Abandoned, should be removed. There are no pipe risers higher than roof line.						
Windows	F							
Handicap Accessible (Y/N)	N	OK						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	Y	Condition	Poor	Location	Front			
Additional Comments		Sketch 						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 26
Description Sioux Lodge Cottage
Camp Boys
Date 10/18/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 720

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	F							
Visible Rot (Y/N)	Y	Total Linear Feet		Location				
Siding Damage (Y/N)	Y	Total Linear Feet	8' (Door Trim)	Location	Front			
Needs Painting (Y/N)	Y							
Threshold	P							
Footings	P	Erosion on rear 3 footings should be addressed immediately						
Steps	G							
Railings	F	Total Linear Feet	3'	Not connected to building				
Doors	F							
Shutters (Y/N)	Y							
Chimney (Y/N)	Y	Topped with clay pipe that should be removed (not cracked)						
Windows	F	Two damaged wood slats						
Handicap Accessible (Y/N)	N							
Deck (Y/N)	N	Condition						
Gutter (Y/N)	N	Condition		Location				
Additional Comments NE corner needs replacement of 2' x 2' section on roof corner		Sketch Damaged Corner → <div style="display: inline-block; border: 2px dashed black; padding: 10px; margin: 10px;"> Window damage Entrance </div> <div style="text-align: right; margin-top: 20px;"> ↖ N </div>						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 27
Description Morning Star Cottage
Camp Boys
Date 10/18/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 720

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	F							
Visible Rot (Y/N)	N	Total Linear Feet		Location				
Siding Damage (Y/N)	Y	Total Linear Feet	57'	Location	Front 6'	Rear 12' + 27'		Left 12'
Needs Painting (Y/N)	Y							
Threshold	P	Needs Replacing						
Footings	F							
Steps	G							
Railings	M	Total Linear Feet	4'					
Doors	F	Bottom trim piece damaged						
Shutters (Y/N)	Y	Fair						
Chimney (Y/N)	Y	2 Undamaged exhaust pipes, removal recommended						
Windows	F							
Handicap Accessible (Y/N)	N	OK						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	N	Condition		Location				
Additional Comments	<div style="display: flex; align-items: center;"> <div style="flex: 1;"> <p>Joist damage at the fireplace, significant twist</p> </div> <div style="flex: 2;"> <p>Sketch</p> </div> </div>							

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number

28

Description

Broken Arrow Cottage

Camp

Boys

Date

10/18/2007

G-Good

F-Fair

P-Poor

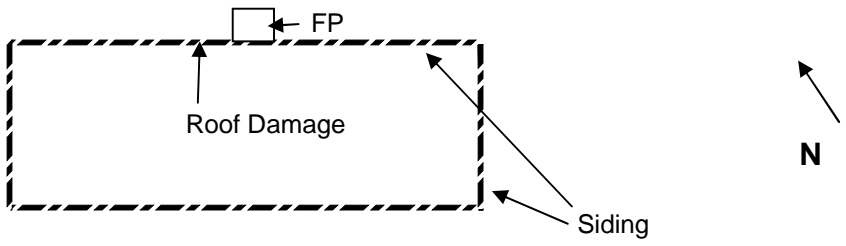
NV-Not Visible

NA-Not Applicable

M-Missing

Paintable Square Footage = 720

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	F							
Visible Rot (Y/N)	N	Total Linear Feet	20'	Location	Chimney			
Siding Damage (Y/N)	Y	Total Linear Feet	36'	Location	Front 16'	Rear 16'		
Needs Painting (Y/N)	Y							
Threshold	F							
Footings	NV							
Steps	G							
Railings	F	Total Linear Feet	3'	Not connected to wall				
Doors	F	Does not close well, Tight - difficult to close						
Shutters (Y/N)	Y	Fair, some damage						
Chimney (Y/N)	Y	Damage at right side, some rot above roofline / no pipes						
Windows	F							
Handicap Accessible (Y/N)	N	OK						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	N	Condition		Location				
Additional Comments		Sketch 						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 29
Description Possibly a directors cabin
Camp Boys
Date 10/18/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 818

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	F	Rot along right full length and at front						
Visible Rot (Y/N)	Y	Total Linear Feet	36'	Location	Right 24'	Left 12'		
Siding Damage (Y/N)	N	Total Linear Feet		Location				
Needs Painting (Y/N)	Y							
Threshold	P	Should be replaced						
Footings	G							
Steps	P	Wooden steps at deck should be replaced						
Railings	F	Total Linear Feet	23'	Not required due to height of deck				
Doors	NV							
Shutters (Y/N)	N							
Chimney (Y/N)	N	Flue Only / metal tilted						
Windows	F	Rear windows / sills rotted and need replacing of 1 of 2 windows						
Handicap Accessible (Y/N)	N							
Deck (Y/N)	Y	Condition	F	Some sag / Poor footings				
Gutter (Y/N)	N	Condition		Location				
Additional Comments		Sketch 						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 30
Description Apartments
Camp Boys
Date 10/18/2007

G-Good

F-Fair

P-Poor

NV-Not Visible

NA-Not Applicable

M-Missing

Paintable Square Footage =
1116

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	G							
Visible Rot (Y/N)	N	Total Linear Feet		Location				
Siding Damage (Y/N)	Y	Total Linear Feet	27'	Location	Front 27'			
Needs Painting (Y/N)	Y							
Threshold	F	Left side needs replacing						
Footings	G							
Steps	G							
Railings	NA	Total Linear Feet						
Doors	NV							
Shutters (Y/N)	N							
Chimney (Y/N)	Y	Good - 2 cinder block chimneys						
Windows	NV							
Handicap Accessible (Y/N)	N							
Deck (Y/N)	Y	Condition						
Gutter (Y/N)	N	Condition		Location				
Additional Comments Propane tank has improper stability footings		Sketch 						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 31
Description Rec Building
Camp Boys
Date 10/18/2007

G-Good

F-Fair

P-Poor

NV-Not Visible

NA-Not Applicable

M-Missing

Paintable Square Footage =
2930

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

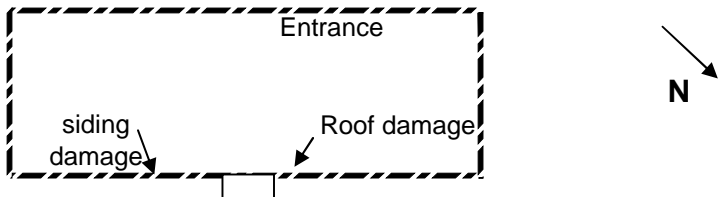
Conditions							
Roof	G						
Visible Rot (Y/N)	Y	Total Linear Feet		Location	Left 16' of trim		
Siding Damage (Y/N)	Y	Total Linear Feet	see comments	Location			
Needs Painting (Y/N)	Y						
Threshold	P	Side door threshold needs to be replaced					
Footings	G	concrete foundation					
Steps	F						
Railings	N	Total Linear Feet		Not needed			
Doors	G						
Shutters (Y/N)	N						
Chimney (Y/N)	Y	Appears functional / brick construction					
Windows	NV						
Handicap Accessible (Y/N)	Y						
Deck (Y/N)	N	Condition					
Gutter (Y/N)	N	Condition		Location			
Additional Comments T-111 siding has extensive rot along the bottom in the back, front and on sides.	<div style="display: flex; align-items: center;"> <div style="flex: 1;"> <p>Sketch</p> </div> </div>						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 32
Description Storage
Camp Boys
Date 10/18/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 512

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector


Conditions								
Roof	F	Damage to the right side of chimney						
Visible Rot (Y/N)	Y	Total Linear Feet	8'	Location	Right 8'			
Siding Damage (Y/N)	Y	Total Linear Feet	62'	Location	Right 29'	Left 17'	Rear 16'	
Needs Painting (Y/N)	Y							
Threshold	P	Needs replacing / sill damage as well						
Footings	F							
Steps	F							
Railings	N	Total Linear Feet						
Doors	F							
Shutters (Y/N)	N							
Chimney (Y/N)	Y	2 pipes extended above roofline / rot on the right side roof / brick construction						
Windows	NV							
Handicap Accessible (Y/N)	N	OK						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	N	Condition		Location				
Additional Comments		Sketch 						

EAST BOSTON CAMPS BUILDING EVALUATION

Building Number 33
Description Bike Shed
Camp Boys
Date 10/18/2007

G-Good
 F-Fair
 P-Poor
 NV-Not Visible
 NA-Not Applicable
 M-Missing
 Paintable Square Footage = 294

Evaluated by: Matthew Hakala, Building Commissioner; John Livsey, Town Engineer; James Esterbrook, Engineering Inspector

Conditions								
Roof	Poor	Rolled shingles						
Visible Rot (Y/N)	N	Total Linear Feet		Location				
Siding Damage (Y/N)	N	Total Linear Feet		Location				
Needs Painting (Y/N)	Y							
Threshold	N							
Footings	NV							
Steps	NA							
Railings	NA	Total Linear Feet						
Doors	F							
Shutters (Y/N)	N							
Chimney (Y/N)	N							
Windows	NA							
Handicap Accessible (Y/N)	N	OK						
Deck (Y/N)	N	Condition						
Gutter (Y/N)	N	Condition		Location				
Additional Comments		Sketch						
Siding is T-111 that is in fair condition								

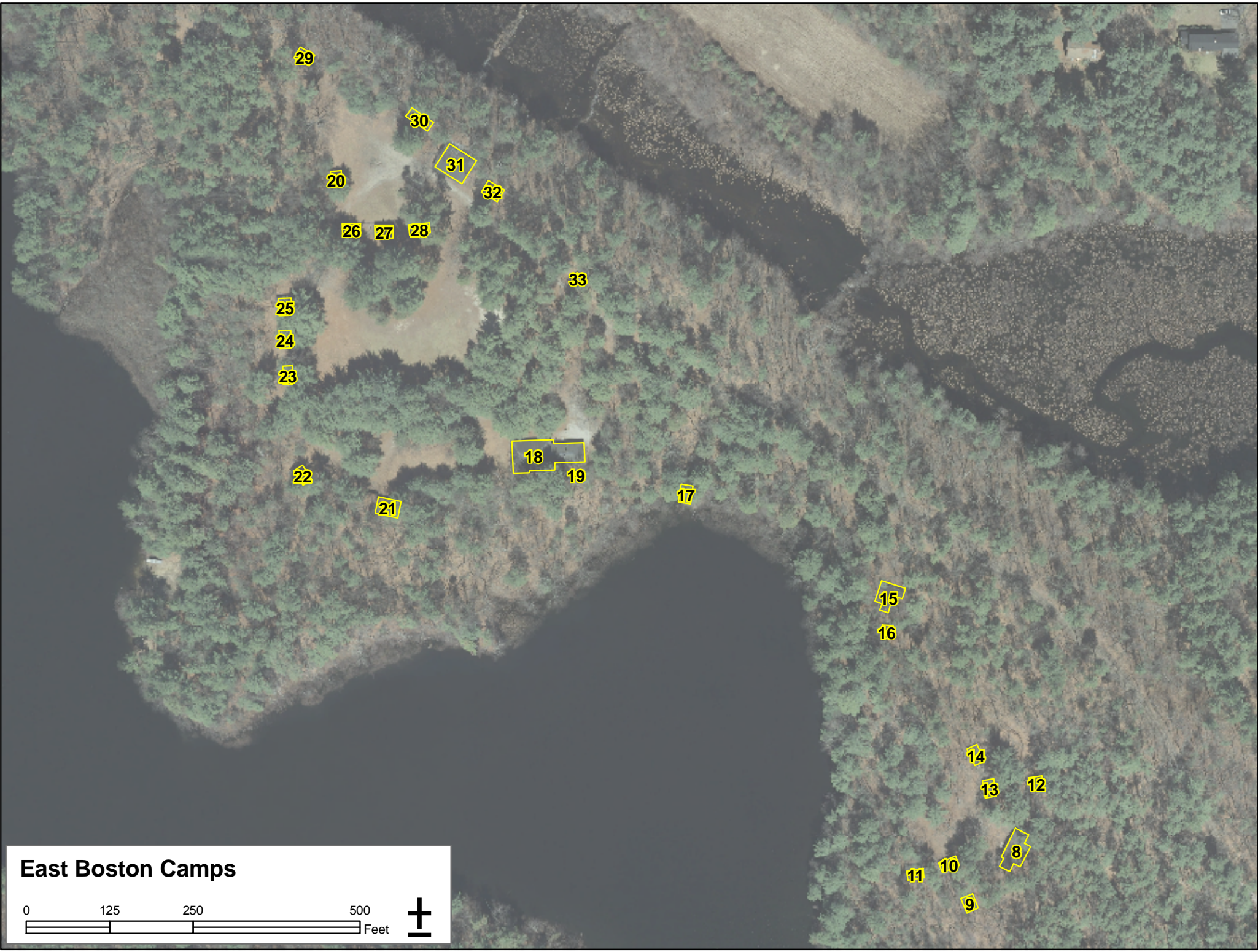
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Threshold (each)	Bldg #	NIA	P	R	S														
	8			1		\$ 210.00													
	14		1			\$ 210.00													
	18			1		\$ 210.00													
	21			1		\$ 210.00													
	24			1		\$ 210.00													
	27			1		\$ 210.00													
	29			1		\$ 210.00													
	30			1		\$ 210.00													
	31			1		\$ 210.00													
	32			1		\$ 210.00		sill appears damaged as well and should be investigated when threshold is replaced											
	Total	0	1	9	0														
	Cost		\$ 210.00	\$ 1,890.00		\$ 2,100.00													
Footings / Structural concerns (each)	Bldg #	NIA	P	R	S														
	9			1		\$ 50.00		seal animal hole											
	10	1				\$ 700.00		Significant damage from insects and woodpeckers on Structural corner column											
	11		1			\$ 1,000.00		significant siding rot- could be problems with sill as well.											
	15	1				\$ 500.00		There is an appearance of buckling. Investigation is needed to determine if there is buckling											
	16		1			\$ 100.00													
	17		3			\$ 3,000.00		Questionable construction and erosion											
	18	1				\$ 4,200.00		Support beam significantly damaged. Repairs are necessary and may require additional footings											
	20		1			\$ 5,200.00		Sill damage/ rear W.H. closet needs removal and replacement; Front overhang needs removal											
	21		1			\$ 5,500.00		Questionable footings under side deck/ Front deck needs new decking and structural repairs throughout											
	26	3				\$ 1,000.00		Erosion should be immediately addressed											
	27				1	\$ 200.00		Roof joist damage - significant twisting											
	Total	6	7	1	1														
	Cost	\$ 6,400.00	\$ 14,800.00	\$ 50.00	\$ 200.00	\$ 21,450.00													
Steps (each)	Bldg #	NIA	P	R	S														
	10		1			\$ 400.00		rear steps missing											
	12			1		\$ 400.00		rear steps in poor condition/ built with wooden pallet											
	14			1		\$ 100.00		some fill recommended											
	15		1			\$ 400.00		side door steps are missing											
	16			1		\$ 100.00		some fill recommended											
	18			1		\$ 3,800.00		steps on left side of building should be replaced so that they have a landing											
	20			1		\$ 400.00		rear steps are tilted and should be replaced											
	24			1		\$ 100.00		some fill recommended											
	29			1		\$ 400.00		wooden steps for deck need replacement											
	Total	0	2	7	0														
	Cost		\$ 800.00	\$ 5,300.00		\$ 6,100.00													
Railings (linear feet)	Bldg #	NIA	P	R	S														
	14			5		\$ 50.00		needs removal											
	18			40		\$ 3,800.00		could use replacement as it is not sturdy. May require full rebuild.											
	26			3		\$ 50.00		not physically secured to building. Should be secured.											
	28			3		\$ 50.00		not physically secured to building. Should be secured.											
	Total	0	0	51	0														
	Cost			\$ 3,950.00		\$ 3,950.00													

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East Boston Camps

